



10 Ash Lea Close,
Cotgrave, NG12 3PR

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This extended, modern family home is offered to the market with no upward chain and provides well presented, spacious and versatile accommodation over two floors, and a converted garage. The property is situated on a good sized plot on the edge of this quiet and desirable cul-de-sac.

The accommodation comprises briefly an entrance hallway, inner hallway, living room, dining room/family room, breakfast kitchen and downstairs cloakroom, four good sized bedrooms (with en-suite to master) and a separate family bathroom.

Externally, there is a further detached bedroom/study room complete with separate shower room, which can be used for multiple purposes and is perfect for a home office. The property also enjoys front and rear gardens and a driveway providing off road parking for multiple vehicles.

The accommodation is gas central heated and double glazed and would make an ideal family purchase.

Situated in the sought after South Nottinghamshire village of Cotgrave, the property is within easy reach of excellent facilities including schools, shops, a leisure centre and country park.

£340,000





Directions

Ash Lea Close is tucked away at the edge of the village and the property sits within this peaceful cul-de-sac. The property can be accessed directly from Owthorpe Road, Cotgrave.

GROUND FLOOR ACCOMMODATION

UPVC Entrance Door

Leading into the:-

Entrance Hallway

Spotlighting, radiator, laminate flooring, plumbing for washing machine and space for a condensing dryer, UPVC double glazed window to the front elevation, door through to:-

Inner Hallway

Laminate flooring, two feature panel radiators, ceiling light point, coving to the ceiling, stairs up to the first floor with under stairs storage cupboard, access to all the ground floor rooms.

Living Room

Feature UPVC double glazed bay window to the front elevation, spotlighting, television point, radiator.

Dining Room/Family Room

Ceiling light point, two wall light points, coving to the ceiling, radiator, UPVC double glazed sliding patio doors leading to the garden, double doors giving access to the inner hallway.

Breakfast Kitchen

Fitted with a range of contemporary cream high gloss base and wall units with under-unit lighting, complementary splash backs and solid wood work surfaces over, inset stainless steel one and a half bowl sink and drainer unit, space and gas connection point for a range cooker with stainless steel extractor hood above, integrated dishwasher, space for American style fridge freezer.

Tiled flooring, spotlighting, two feature panelled radiators. UPVC double glazed window to the front elevation, UPVC double glazed side exterior entrance door and UPVC double glazed French doors opening to the garden.

Ground Floor W/C

Fitted with a low level flush wc, and a wash hand basin. Tiled splash backs, radiator, ceiling light point, laminate flooring, and an opaque UPVC double glazed window to the entrance hallway.

FIRST FLOOR ACCOMMODATION

First Floor Landing

Ceiling light point, coving to the ceiling, loft access hatch to give access to the partially boarded loft space above (housing the boiler), airing cupboard housing the hot water cylinder, and doors leading to four bedrooms and the family bathroom.

Family Bathroom

Fitted with a modern four piece suite in white comprising a corner shower cubicle with mains shower, panelled bath, wash hand basin set in a vanity unit, and a low level flush w/c. Tiled splash backs, tiled flooring, chrome heated towel rail, shaver point, recess spotlighting, velux window.

Master Bedroom

An impressive sized master suite with feature vaulted ceiling, recess spot lighting, UPVC double glazed window to the front elevation, television point, door to:-

En-Suite Bathroom

Fitted with a contemporary four piece suite in white comprising a panelled bath with centre mounted taps, a double walk in shower enclosure with mains shower, low level

flush w/c, and a wash hand basin set in a vanity unit. Tiled splash backs, chrome heated towel rail, shaver point, tiled flooring, vaulted ceiling with recessed spotlighting, and an opaque UPVC double glazed window to front elevation.

Bedroom Two

UPVC double glazed window to the rear elevation, ceiling light point, radiator, over-stairs store cupboard.

Bedroom Three

UPVC double glazed window to the rear elevation, ceiling light point, radiator.

Bedroom Four

UPVC double glazed window to the front elevation, ceiling light point, radiator.

OUTSIDE

To the front of the property there is a shaped lawn with a pathway to the FRONT ENTRANCE DOOR.

A driveway to the side of the property provides parking for multiple vehicles and gives access to the rear garden via a secure timber gate and access to BEDROOM FIVE/OFFICE.

To the rear of the property there is a large, private garden enclosed by timber fencing and hedged boundaries. There is a paved patio area and a brick-built barbecue area ideal for alfresco entertaining, with shaped lawn beyond and well stocked shrub borders. The garden benefits from outside security lighting and an outside tap, and houses a timber shed which has power and lighting connected along with plumbing for a washing machine and space for a tumble dryer.

Converted Garage - Bedroom Five/Home Office

UPVC double glazed exterior entrance door, UPVC double glazed window overlooking the garden, spotlighting, underfloor heating, power points, internal door to:-

Shower Room

Fitted with a shower tray with a mounted electric shower and tiled splash-backs, curtain rail across, pedestal wash hand basin, and a low level flush w/c. Opaque UPVC double glazed window to the front elevation, spotlighting, extractor fan, underfloor heating.

Referral Arrangement Note

Thomas James Estate Agents always refer sellers (and will offer to refer buyers) to Knights PLC, Premier Property Lawyers, Ives & Co, Curtis & Parkinson, Bryan & Armstrong, and Marchants for conveyancing services (as above). It is your decision as to whether or not you choose to deal with these conveyancers. Should you decide to use the conveyancers named above, you should know that Thomas James Estate Agents would receive a referral fee of between £120 and £240 including VAT from them, for recommending you to them.



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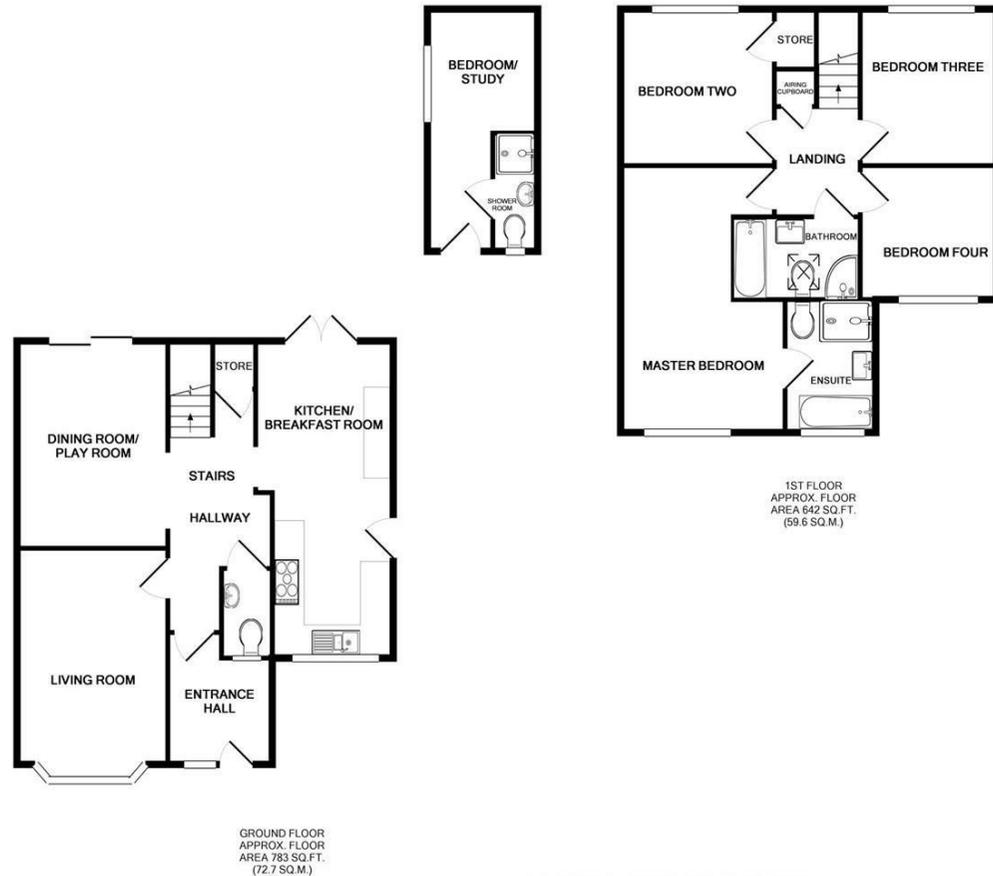
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MONEY LAUNDERING

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Energy Efficiency Rating	
Current	Potential
Very energy efficient - lower running costs	
(92 plus) A	87
(81-91) B	
(69-80) C	
(55-68) D	
(39-54) E	
(21-38) F	
(1-20) G	
Not energy efficient - higher running costs	
England & Wales	EU Directive 2002/91/EC 

Environmental Impact (CO ₂) Rating	
Current	Potential
Very environmentally friendly - lower CO ₂ emissions	
(92 plus) A	
(81-91) B	
(69-80) C	
(55-68) D	
(39-54) E	
(21-38) F	
(1-20) G	
Not environmentally friendly - higher CO ₂ emissions	
England & Wales	EU Directive 2002/91/EC 



TOTAL APPROX. FLOOR AREA 1424 SQ.FT. (132.3 SQ.M.)
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